

Stanton Dahl Architects
PO Box 833, Epping, NSW 1710, Australia
Tel +61 2 8876 5300 Fax +61 2 9868 2624
www.stantondahl.com.au

Aboriginal Housing Office, Seniors Living Development x 4 Units
30 Frank Street, Mount Druitt, NSW
DA Issue - 16th March- 2018

Architectural

2158.17	DA00	Cover Sheet
2158.17	DA01	Site Analysis & Block Plan
2158.17	DA02	Site & External Works Plan
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2158.17	DA04	Ground Floor Plan
2158.17	DA05	Roof Plan
2158.17	DA06	Elevations & Sections
2158.17	DA07	External Colour Selection

Hydraulic Drawing Schedule

171243	C01	Notes & Legends
171243	C02	Ground Floor Drainage Plan
171243	ESM1	Notes & Legends
171243	ESM2	Environmental Site Management Plan

Landscape Drawing Schedule

2157.17	L01	Landscape Plan
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Survey Drawing Schedule

2157.17	1 of 1	Plan showing boundaries, relative heights and physical features
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6.3

Average star rating

NATIONWIDE HOUSE

www.nationwidehouse.gov.au

Certificate no.: 8002553980

Assessor Name: Dean Gorman

Accreditation no.: VIC/BDW/13/1645

Certificate date: 15 March 2018

Dwelling Address: 30 Frank Street Mount Druitt, NSW 2770

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Project management
Access consulting
Interior design



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Family & Community Services
NSW
Aboriginal Housing Office



Aboriginal Housing
Office

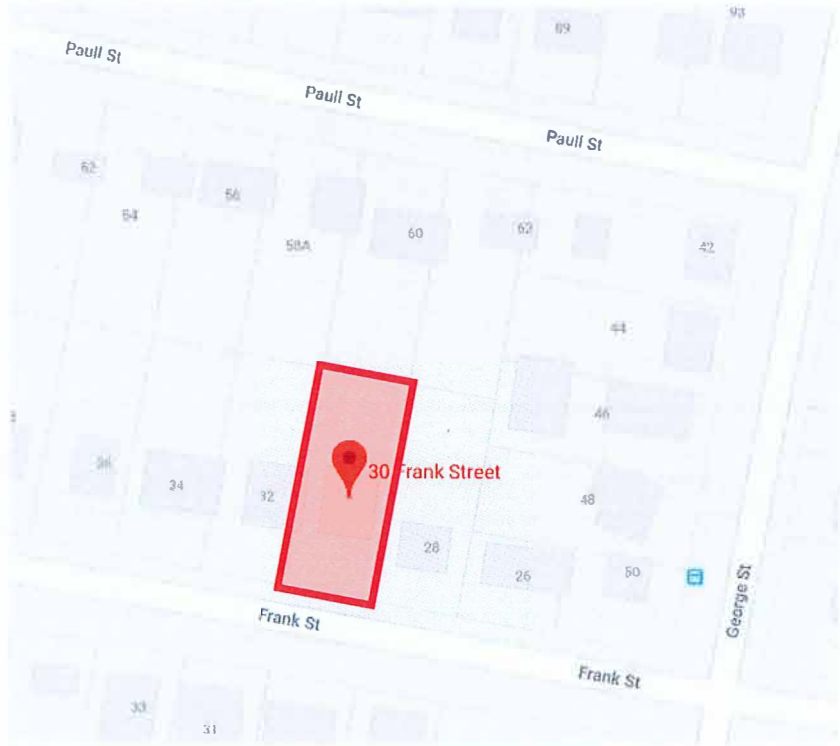
Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18
Scale: N.T.S @ A1

Project No:
2158.17

Drawing No: DA00
Amendment#: 01

Cover Sheet



01 Site & Location Plan
not to scale

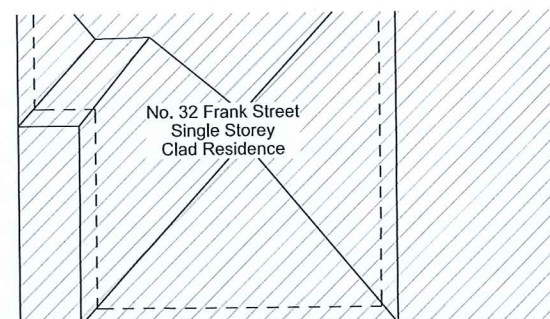
Diagram illustrating a street layout with sound level contours. The street is labeled "Street" and "Frank". A dashed line indicates a sound level of 64.5. Red arrows represent traffic flow, with the text "minor traffic noise" indicating the direction of noise propagation.

Legend site analysis plan
note: drawing may not contain all items listed below

 approx. location of existing trees

 existing trees to be removed

 approx. location of existing contours
 approx. location of existing site & lot boundaries
 approx. location of existing buildings
 approx. location of private open space



Lot 8
Sec Z
DP 2042

Private Open Space

Private Open Space

GUTTER
DL 65 57

SHE

EDGE
L 66.97

Clad
Garage

RIDGE
RL 66.93

RIDGE
RL 67.03

Grann

10

RI. 6.1.27

Lot 7
Sec Z
DP: 2042
Area = 1011m²

-No. 30 Frank St
Vacant Lot

No. 28 Frank Street
Single Storey
Clad Residence

Lot 6
Sec Z
DP 2042

Private Open Space

Scanlon Dahl & Associates Pty Limited, RSM 22 052 261, 206 Hamstead Archibell

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Rev	Issue	Date
01	DA Issue	16.03.18



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Aboriginal Housing
Office

Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

Drawn; JOK, CP
Checked; JOK
Plot date; 26/3/18

Scale; 1:100 as noted @ A1

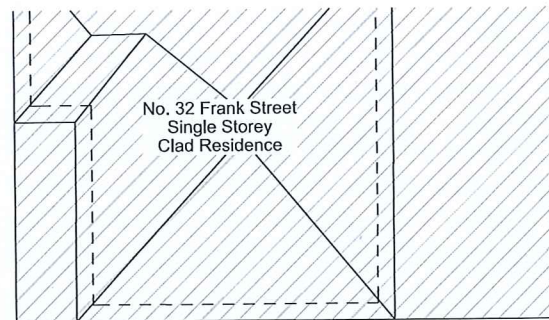
Project No;
2158.17

Drawing No; Amendment#
DA01 01

Site Analysis & Block Plan

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 (EAI)

NATHERS Thermal Performance Specification			
External Walls			
Wall Type	Insulation	Colour	Comments
Brick Veneer	R1.5	Light - SA < 0.475	As per plans and elevations
Metal Clad	R1.5	Light - SA < 0.475	As per plans and elevations
SA - Solar Absorbance			
Internal Walls			
Wall Type	Insulation	Comments	
Plaster board on Stud	None	Internally in units	
Plaster board on Stud	R1.5	Internal walls adjacent to garage	
Cavity Brick + Plaster Lining	None	Party walls	
Floors			
Floor Type	Insulation	Comments	
Concrete	None	Slab on ground	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	R1.5	Throughout	
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil faced blanket	Dark - SA > 0.7	Throughout
SA - Solar Absorbance			
Glazing			
Glazing & Frame Type	U-Value	SHGC	Opening Style
Single Clear Aluminium	6.7	0.57	All awning and casement windows
Single Low E Aluminium	5.4	0.49	except on Unit 1
Single Clear Aluminium	6.7	0.7	All sliding doors and fixed windows
Single Low E Aluminium	5.4	0.58	except on Unit 1
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value a 10% of the above specified values.			



Lot 8
Sec Z
DP 2042

- LEGEND:
- approx. location of existing trees
 - approx. location of trees to be removed
 - 1 bed
 - 2 bed
 - landscape
 - Private open Space
 - Deep Soil (min. dim. 3m)

DEVELOPMENT DATA - SEPP SL OPTION			
ADDRESS	30 Frank St, Mount Druitt, 2770		
SITE AREA	1011m ²		
NUMBER OF EXISTING LOTS	Lot 7 DP 2042		
NUMBER OF DWELLINGS	4 UNITS: 1 x 1b & 3 x 2b Senior Living Units		
DWELLINGS	Number	Type*	Area* (m ²)
	POS*		
UNIT 1	ADAPTABLE	1	59.29m ²
	ADAPTABLE	1	33.84m ²
	ADAPTABLE	1	37.54m ²
	ADAPTABLE	1	38.28m ²
UNIT 2	SENIOR	2	73.22m ²
	SENIOR	2	73.22m ²
	SENIOR	2	73.22m ²
	SENIOR	2	73.22m ²
Control		Requirement	Proposed
PARKING	SEPP SL 1 car space for each 5 dwellings where the development is made by or is made by a person jointly with a social housing provider	1 per 5 dwellings (1)	4
	SEPP SL	0.51 (505.5m ²)	0.381 (400.87m ²)
FLOOR SPACE RATIO	SEPP SL	30m ² per dwelling (140m ²)	234.56m ²
LANDSCAPING	SEPP SL	15% of site area (151.65m ²)	117.85m ²
DEEP SOIL	SEPP SL	70% of dwellings have 3 hours of sunlight between 8am and 3pm 21 June into living areas & POS	complies
SOLAR ORIENTATION	SEPP SL	15m ²	complies
PRIVATE OPEN SPACE	SEPP SL	8,000mm (2 storeys)	complies
BUILDING HEIGHT	SEPP SL	Front Setback: 6000mm	6000mm
SETBACKS	Blacktown DCP	Secondary Front: 3000mm	N/A
		Side: 2000mm	2,300mm
		Side Second Storey: 2300mm	N/A
		Rear: 2300mm	2300mm

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Rev 01 Issue DA Issue 16.03.18

Family & Community Services
NSW
Aboriginal Housing Office

Aboriginal Housing Office

Certificate no.: 000253980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDAN/13/1645
Certificate date: 15 March 2018
Average star rating: 6.3
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

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Aboriginal Housing Office

Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

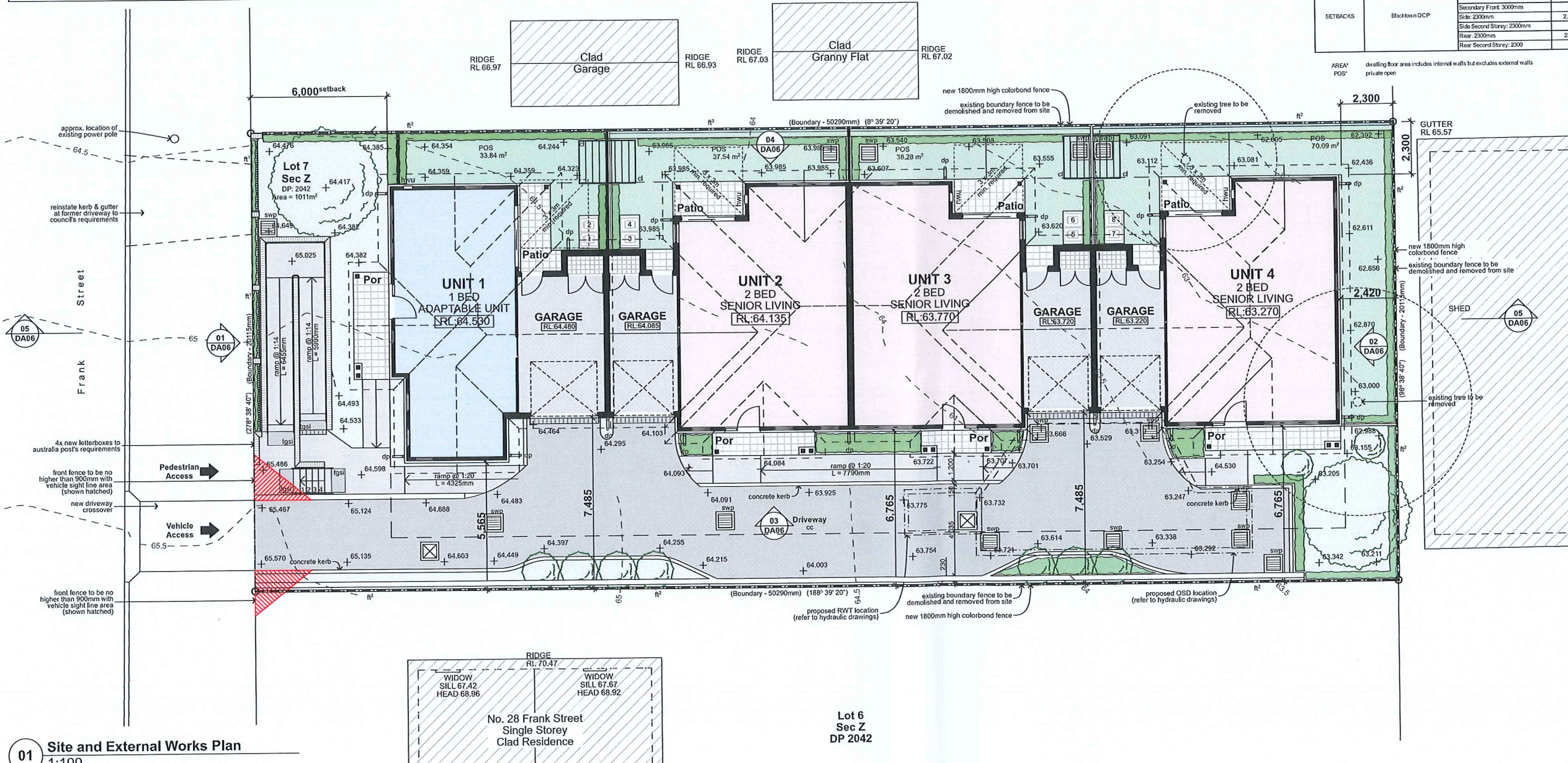
Drawn: JOK_CP
Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ A1

Project No:
2158.17

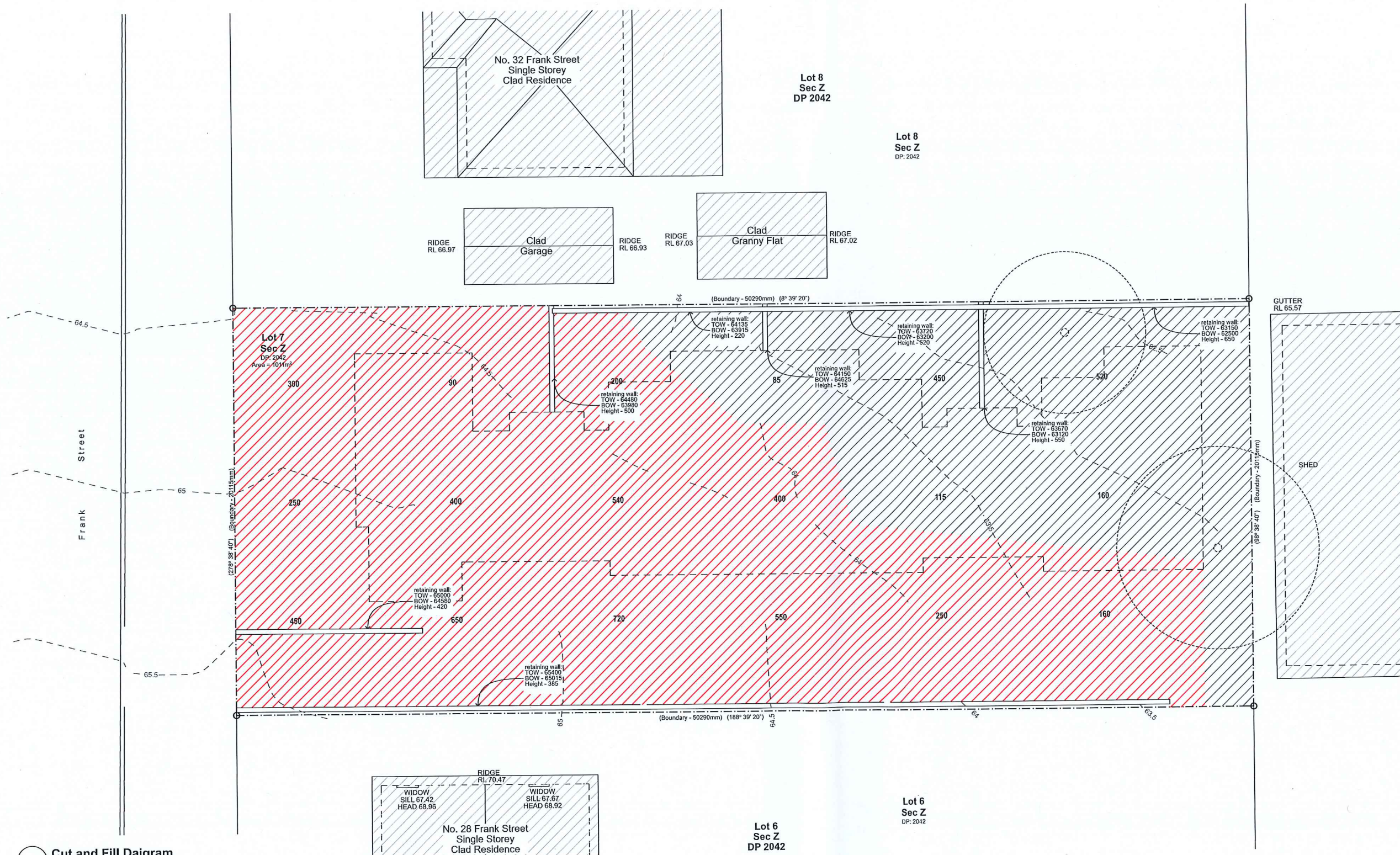
Drawing No:
DA02

Amendment#: 01
Site & External Works Plan



01 Site and External Works Plan
1:100

- Legend (external work / site plan)
- ex. contours
existing trees to be removed
existing trees to be retained
- proposed trees
ex. RL 00.00 → existing levels
RL 00.00 → proposed levels
bal(1) balustrade (type)
boe brick on edge
cc(1) concrete concrete (type)
cft ceramic floor tiles
- cl clothes line
col column
dp downpipe
fb(1) facebrick work (type)
ft(1) fence (type)
gb garbage bin
gt gate
gid grated drain
hr(1) handrail (type)
ht hose tap
- hw hot water unit
hyd hydrant
kr kerb ramp
lb letter box
pos private open space
pmp permeable pavers
pp power pole
pp retaining wall (type)
swp storm water pit
tgsi tactile ground surface indicator
- tow top of wall



01 Cut and Fill Daigram
1:100

Legend (cut and fill diagram)
note: drawing may not contain all items listed below

note:
grey area indicated extent of fill

note:
red area indicated extent of cut

50
approx. depth of cut and fill in millimetres

— indicates outline of new buildings

- - - indicates site boundaries

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NSW Family & Community Services
Aboriginal Housing Office

Aboriginal Housing Office

6.3
Average star rating
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EXCELLENT HOME VALUE
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Certificate no.: 0002553980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDV/13/1645
Certificate date: 15 March 2018
Dwelling Address: 30 Frank Street, Mount Druitt, NSW 2770

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Aboriginal Housing Office

Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ A1

Project No:
2158.17

Drawing No: **DA03** Amendment#: **01**

Cut and Fill Plan

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 @A1

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NSW Family & Community Services
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Aboriginal Housing Office

Certificate no.: 0002553990
Assessor Name: Dean Gorman
Accreditation no.: VIC/BAV/13/1645
Certificate date: 15 March 2018
Average star rating: 6.3
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30 Frank Street
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2770
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Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

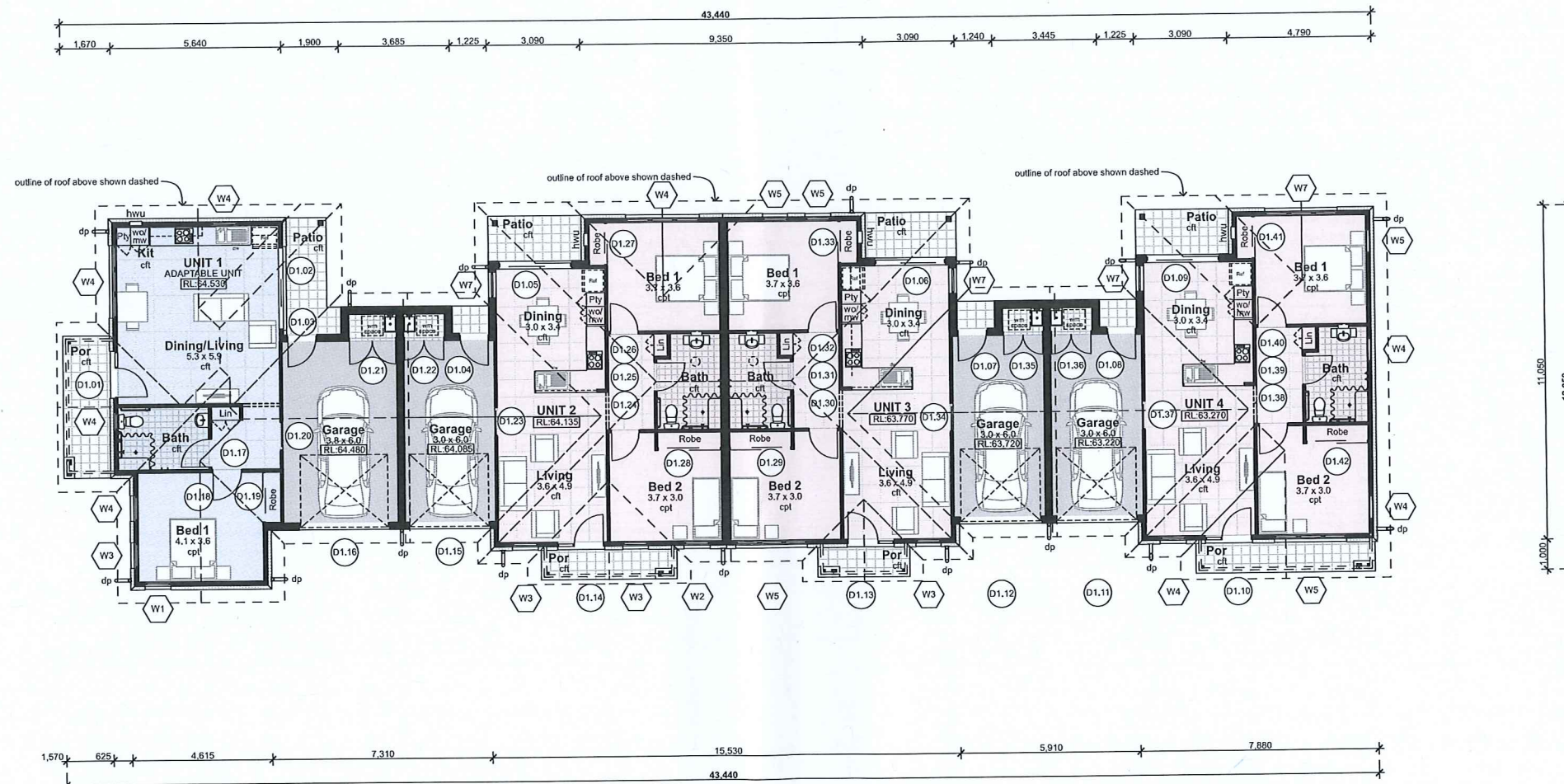
Drawn: JOK, CP
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Scale: 1:100 as noted @ A1

Project No:
2158.17

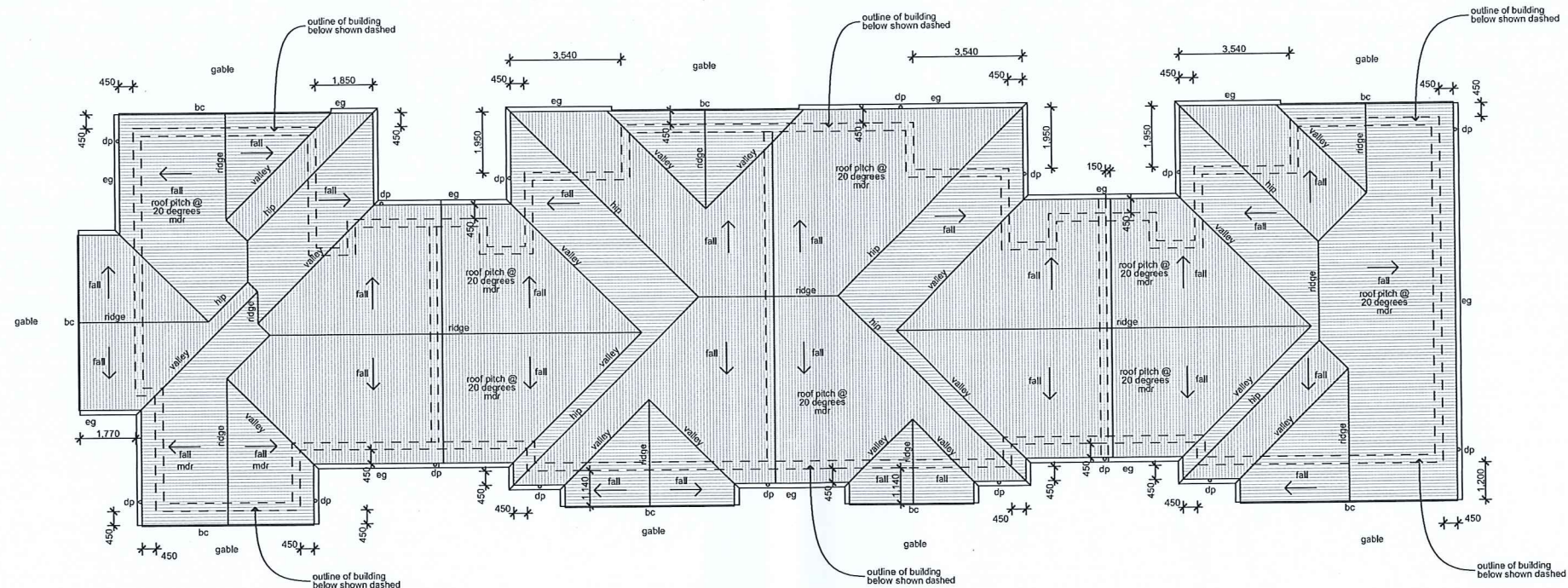
Drawing No: Amendment#:
DA04 01

Ground Floor Plan



01 Ground Floor Plan 1:100

Legend (floor plans)	
notes: drawings may not conform to all dimensions listed below	
001	door numbers (as scheduled) (prefix ex. for existing door)
002	window numbers (as scheduled) (prefix ex. for existing window)
ap	access panel
bal(1)	balustrade (type)
bfc	broom finish concrete
bol	bollard
brn	broom cupboard
bsn	basin
cl	ceramic floor tile (type)
cl	clothes line
col	column
ct	carpet (type)
ct	cooktop
dp	downpipe
fb(1)	face brickwork (type)
fs	fridge space
fw	floor waste
gb	garbage bin
gt	gate
gt	grated drain
hr(1)	handrail (type)
ht	hose tap
hwu	hot water unit
hyd	hydrant
kr	kerb ramp
lb	letter box
lin	linen cupboard
mw	microwave
pmp	permeable pavers
ply	ply
ref	refrigerator
robe	wardrobe
rw(1)	retaining wall (type)
rw	rainwater tank
srk	sink
sc	steel column
shr	shower
sk	skylight/skytube
sl	sliding door
st	store
sv(1)	sheet vinyl (type)
swp	storm water pit
vp	vent pipe
wo	wall oven
wm	washing machine space



01 Roof Plan 1:100

Legend (roof plans)	
ap	access panel
bc	barge capping
dp	downpipe
eg	eaves gutter
ex	existing
fg	flashing
gu	gutter
mdr	metal deck roof sheeting
of	overflow
pc	parapet capping
pv	photovoltaic cells
rrc	roof ridge capping
rwh	rainwater head
sk	skylight/skylight
vp	vent pipe

- note:
- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
 - provide gutter-guards to all guttering throughout
 - metal roof sheeting to comply with AS1562.1

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**Aboriginal Housing
Office**

Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
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Plot date: 26/3/18

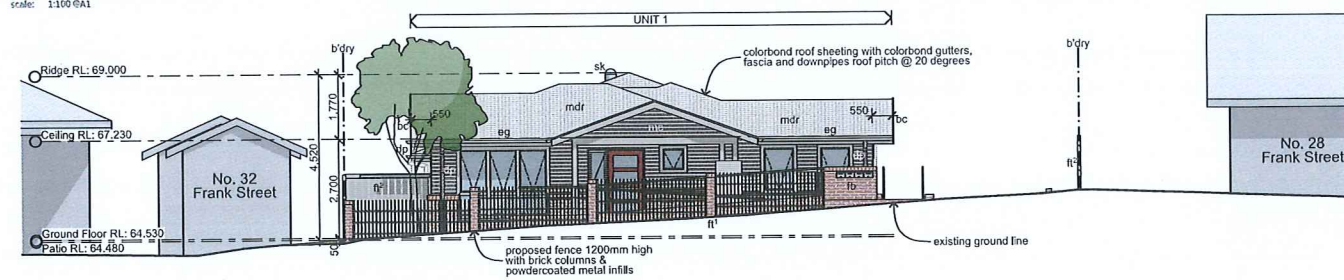
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Project No:
2158.17

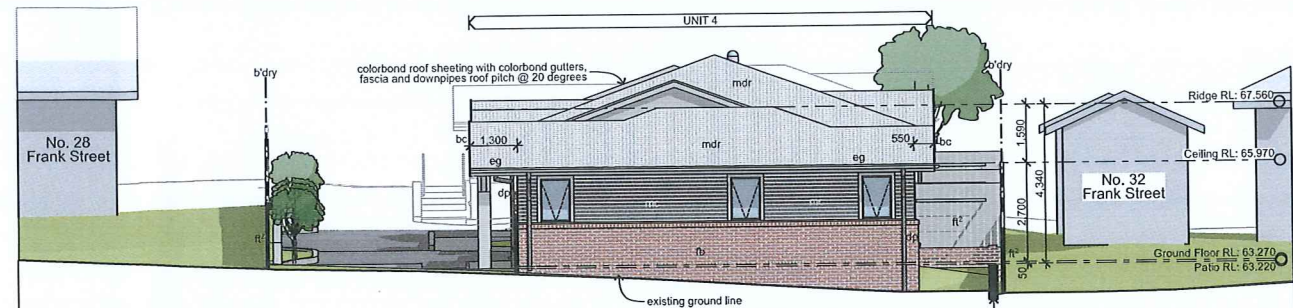
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01

Roof Plan

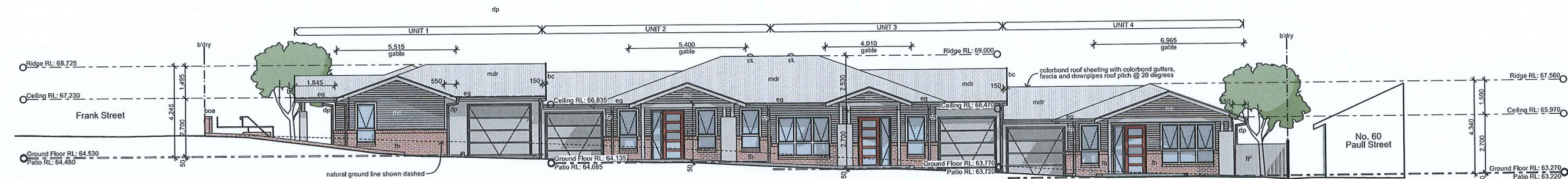
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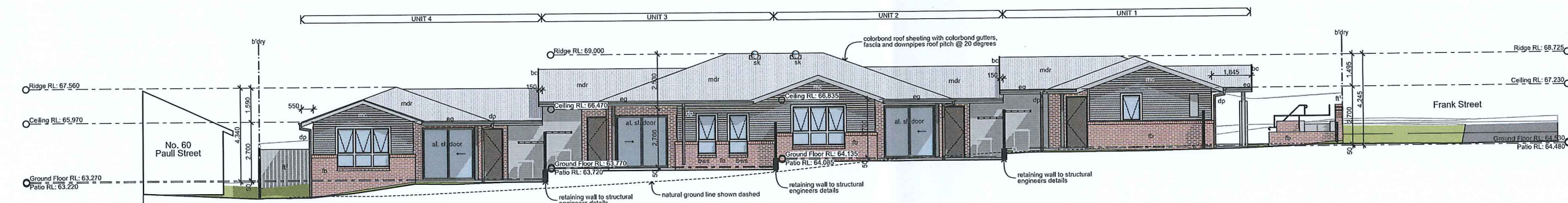
01 South Elevation (Frank Street)
1:100



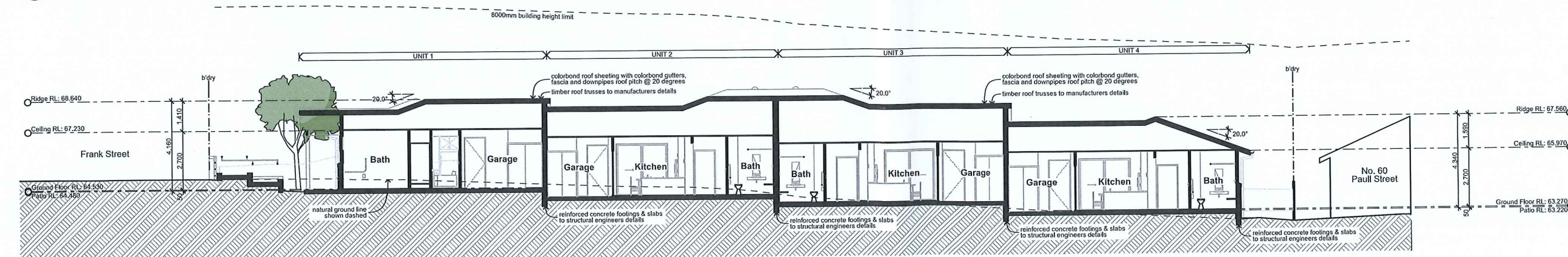
02 North Elevation
1:100



03 East Elevation
1:100



04 West Elevation
1:100



05 Section
1:100

Legend (elevation & sections)					
ac	air conditioner condenser	csc	cut soldier course	hr(1)	handrail (type)
ag	ag pipe	dp	downpipe	flr	fixed louvers
alv	adjustable louvers	eg	eaves gutter	mc(1)	metal cladding (type)
alw	aluminium framed window	ex	existing ground line	mdr	metal deck roof
bal(1)	balustrade (type)	ex	existing	olv	operable louvers
bc	barge capping	fb(1)	face brickwork (type)	p(1)	paint (type)
bhc	brick header course	fd	finished ceiling level	pbd	plasterboard
boe	brick on edge	fl	finished floor level	pv	photovoltaic cells
bws	brickwork sill	fl	fixed louvers	rc	rendered concrete
cfc	compressed fibre cement	gl	ground line	rp	render & paint finish
conc.	concrete	gt	gate	rs	roller shutter
				rw	retaining wall

note:
1. all handrails, balustrades & louvers shown
indicatively only. refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.

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Aboriginal Housing
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Seniors Living Development x 4 Units

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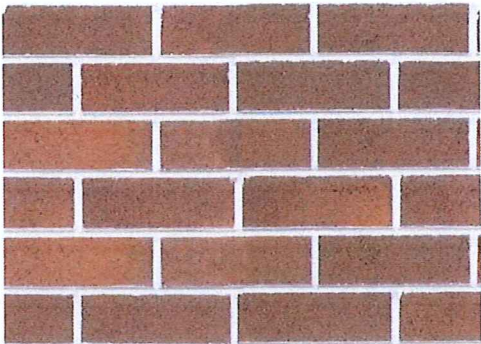
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Project No:
2158.17

Drawing No: DA06
Amendment: 01

Elevations & Sections

External Colour Selection
30 Frank Street, Mount Druitt, NSW

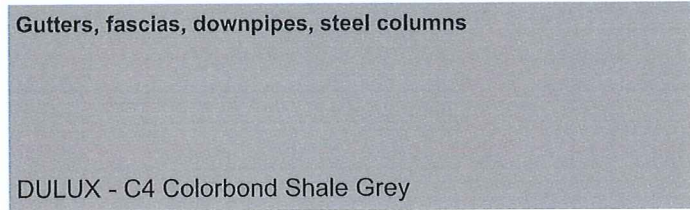


Face Brick (fb)
PGH Bricks - Dry Pressed
Colour: "Macarthur Mix"



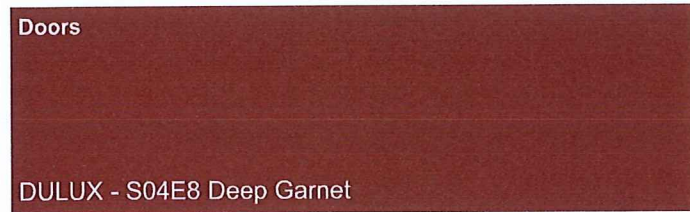
Rendered and painted (rp)
External walls & Columns

DULUX - SW1G1 Vivid White



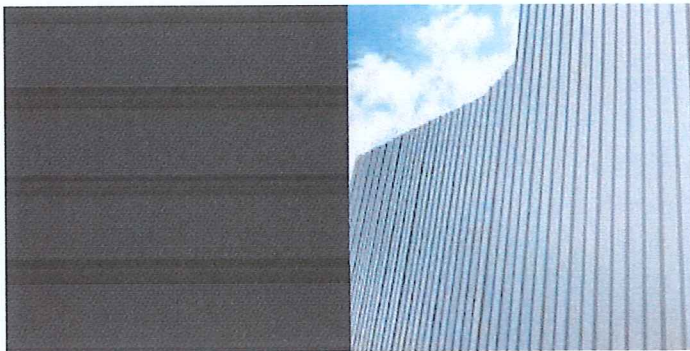
Gutters, fascias, downpipes, steel columns

DULUX - C4 Colorbond Shale Grey

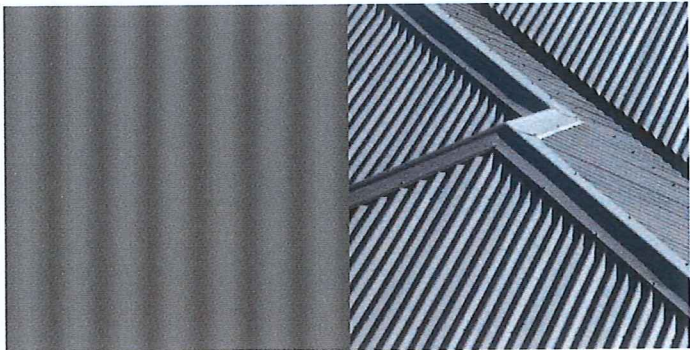


Doors

DULUX - S04E8 Deep Garnet



Metal Cladding (mc)
Colorbond "easyclad"
Colour: "facade"



Metal Deck Roofing (mdr)
Colorbond "Custom-Orb"
Colour: "Colorbond Shale Grey"



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DA ISSUE

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Aboriginal Housing Office,
Seniors Living Development x
4 Units
30 Frank Street, Mount
Druitt, NSW

External Colour
Selection

Project No;
2158.17

Drawing No; Amendment#;
DA07 01

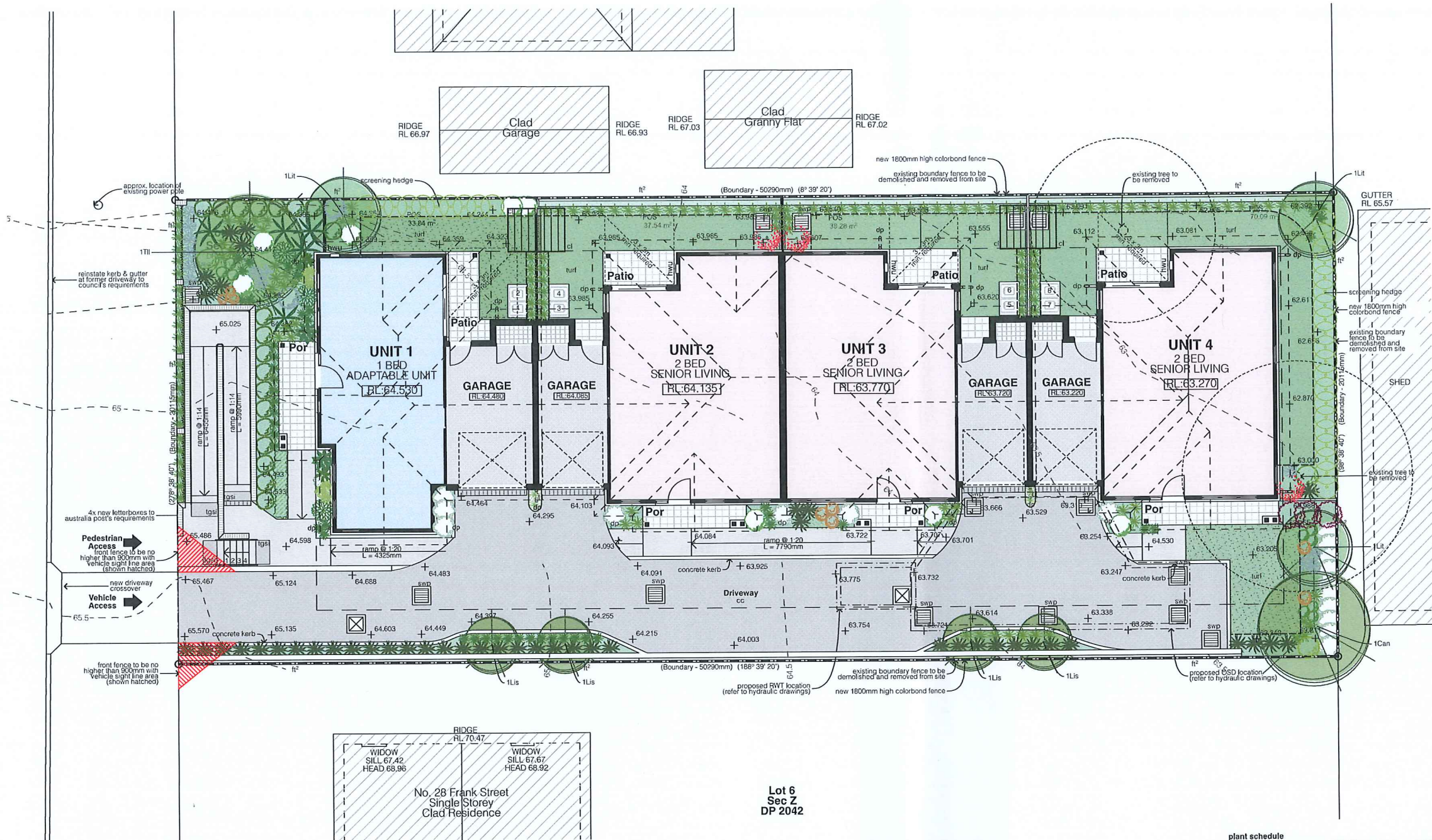
Scale; N.T.S @ A3

Drawn; JOK, CP

Plot date; 26/3/18

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Stanton Dahl & Associates Pty Limited. ABN 32 002 261 396 Nominated
Architects : D P Stanton 3642, D C Mellon 7864,
S M Evans 7656 © Copyright 2016 Stanton Dahl



legend:

note: drawing may not contain all items listed below

- RL00.00 → proposed levels
- ac air conditioner condenser
 - acc accessible
 - adhc ageing, disability & home care
 - ap access panel
 - bal(1) balustrade (type)
 - bfc broom finished concrete
 - boe brick on edge
 - bol bollard
 - cl clothes line
 - col column
 - dp downpipe
 - drip doorpost
 - ex existing
 - fb(1) facebrick work (type)
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - gld grated drain
 - hr(1) handrail (type)
 - ht hose tap
 - hvu hot water unit
 - hyd hydrant
 - hr ramp
 - lb letter box
 - clc off form concrete
 - pp power pole
 - rw(1) retaining wall (type)
 - slc steel float concrete
 - swp storm water pit
 - tlc trowel finished concrete
 - tpsl tactile ground surface indicator
 - low top of wall
 - w/c wood float concrete
 - ex contours & banking line
 - existing trees to be retained
 - existing trees to be removed
 - kwik kerb garden edging
 - fencing - for all fencing materials and types refer to the architects plans.
 - proposed trees
 - planting areas

note: maintenance: all landscape works are to be maintained for a period of six months from the date of completion. this includes all watering, weeding, spraying and remulching necessary to achieve vigorous growth. any defects which arise during this period are to be rectified immediately. any plants or areas of turf which fail during this period are to be replaced at no additional cost.

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All dimensions to be verified on site and any discrepancies referred to architect for determination. figured dimensions to take precedence over scaled dimensions.

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Rev	Issue	Date
1	Development Application Issue	27.02.19

Family & Community Services
NSW
Aboriginal Housing Office

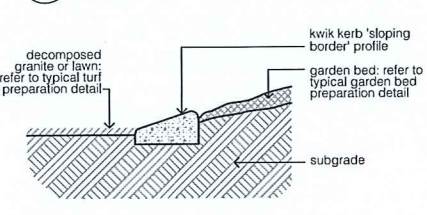
Aboriginal Housing Office

botanique design
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p 0004 602 620

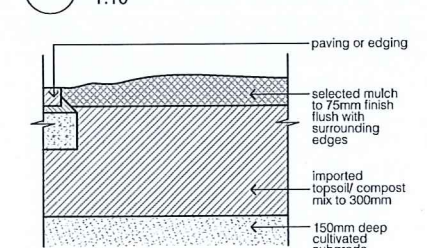
Architecture
Project management
Access consulting
Interior design

stanton dahl
architects

1 landscape plan
1:100

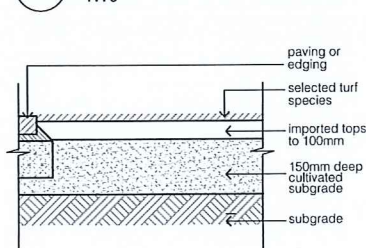


2 kwik kerb garden edge section
1:10

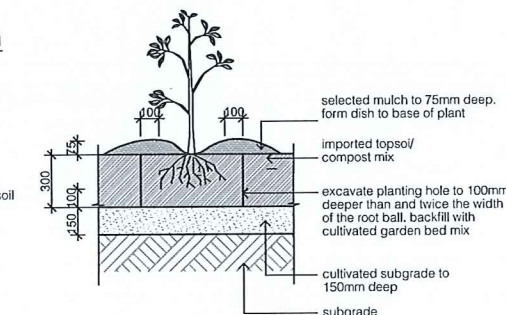


4 garden bed preparation detail
1:10

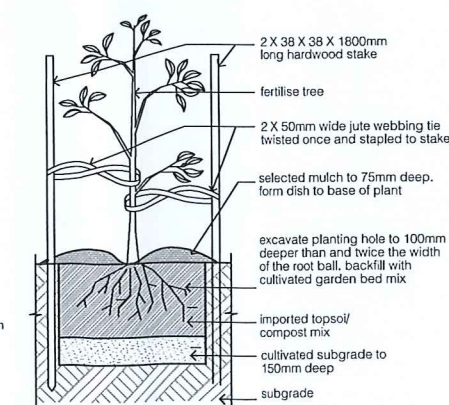
3 kwik kerb garden edge plan
1:10



5 turf preparation detail
1:10



6 garden bed planting
1:20



7 15 - 45l tree planting detail
1:20

plant schedule

code	botanical name	common name	mature height	pot size	stake
Trees					
Can	Cupaniopsis anacardioides	Tuckeroo	8.0m	35L	yes
Hil	Hymenosporum flavum	Crepe Native Frangipani	7.0m	35L	yes
Lin	Lagerstroemia indica 'Natchez'	Crepe Myrtle	8.0m	35L	yes
Lis	Lagerstroemia indica 'Sioux'	Crepe Myrtle	4.0m	35L	yes
Lit	Lagerstroemia indica 'Tuscarora'	Crepe Myrtle	6.0m	35L	yes
Til	Tristania laurina 'Luscious'	Water Gum	10.0m	35L	yes
Shrubs					
Cal	Correa alba	White Correa	1.5m	200mm	yes
Bbc	Banksia 'Birthday Candles'	Birthday Candles	0.4m	200mm	no
Ccc	Callistemon 'Captain Cook'	Bottlebrush	2.0m	200mm	yes
Cex	Crocea exaltata	Crocea	0.5m	200mm	no
Cgb	Callistemon 'Great Balls of Fire'	Bottlebrush	1.5m	200mm	no
Cvs	Callistemon viminalis 'Slim'	Bottlebrush	3.0m	200mm	yes
Cwa	Callistemon 'White Anzac'	Bottlebrush	1.5m	200mm	yes
Lch	Loropetalum chinense var. Rubrum	Chinese Fringe Flower	1.5m	200mm	yes
Sre	Syzygium 'Resilience'	Lilly Pilly	4.0m	200mm	yes
Rop	Raphirolepis 'Oriental Pearl'	Indian Hawthorne	1.0m	200mm	no
Wab	Westringia 'Aussie Box'	Coastal Rosemary	0.6m	200mm	no
Wwg	Westringia 'Wynabbie Gem'	Coastal Rosemary	1.0m	200mm	no
Groundcovers, Grasses and Feature Plants					
Arv	Anigozanthus 'Ruby Velvet'	Kangaroo Paw	1.0m	200mm	no
Asa	Aspidistra elata	Cast Iron Plant	0.8m	200mm	no
Bca	Blechnum cartilagineum	Birds Nest Fern	1.0m	200mm	no
Das	Doodia aspera	Gristle Fern	0.7m	200mm	no
Dex	Doryanthes excelsa	Rasp Fern	0.5m	140mm	no
Lil	Lily Turf	Gymea Lily	1.2m	140mm	no
Gmt	Grevillea 'Mt Tamboritha'	Lily Turf	0.4m	140mm	no
Lit	Lomandra longifolia 'Tanika'	Dwarf Mat Rush	0.3m	140mm	no
Mpa	Myoporum parvifolium	Creeping Boobiala	0.5m	140mm	no
Smc	Scaevola 'Mauve Clusters'	Fan Flower	0.1m	140mm	no

Aboriginal Housing Office

Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

Drawn: MM
Checked: JOK
Plot date: 19/03/2018

Scale: 1:100, 1:10, 1:20 as noted @ A1

Project No:
2158.17

Drawing No:
L01

Amendment:
1

Landscape Plan

PROPOSED DEVELOPMENT

30 Frank St, Mount Druitt NSW
greenview Job No: 171243

GENERAL NOTES

- 1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- 2. THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- 3. CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- 4. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- 5. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- 6. ALL DRAINAGE LINES THROUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- 7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS, PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- 8. THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- 9. THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS, ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- 10. THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- 11. ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- 12. ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- 13. ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300 mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS198-1994.
- 14. ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL, BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- 15. PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS, ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- 16. GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- 17. ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.M.D.
- 18. ALL CHANGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- 19. THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- 20. CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- 21. W.A.E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- 22. WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.

RAINWATER REUSE SYSTEM NOTES

- 1. RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS).
- 2. NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- 3. PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- 4. PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- 5. PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- 6. ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZ3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- 7. PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- 8. ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- 9. PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZ3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS RAINWATER. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- 10. EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- 11. ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- 12. ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- 13. TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF

- 13.1. PERMANENT AIR GAP
- 13.2. BACKFLOW PREVENTION DEVICE

EARTHWORK NOTES

- 1. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 2. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- 3. PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- 4. OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL, AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- 5. CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- 6. PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- 7. EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS, THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm$ 2%.
- 8. FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- 9. WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- 10. FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 S.1.1), MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT $\pm$ 2%, SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- 11. COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- 12. BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- 13. ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- 14. ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING, WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

DRAINAGE INSTALLATION

RCP CONVENTIONAL

INSTALLATIONS & ROAD CROSSINGS

- 1. SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- 2. BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- 3. A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA. AND 300mm CLEARANCE FOR PIPES > 1200 DIA.
- 4. BEDDING OF THE PIPELINES IS TO BE TYPE H152 IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:

a. COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:						
M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b. BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c. BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d. THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e. COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT.

STORMWATER DRAINAGE NOTES

- 1. STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION.
- 2. PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC.
- 3. PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.
- 4. ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION.
- 5. PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- 6. MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- 7. ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- 8. PIPES 225mm DIA AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- 9. PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O.
- 10. BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- 11. ANY PIPES OVER 10% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS.
- 12. THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 50mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- 13. DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS. ALL ROOF GUTTERING AND DOWNPIPES TO THE CURRENT AUSTRALIAN STANDARDS.
- 14. ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- 15. BUILD INTO UPSTREAM FACE OF ALL FITS A 3.0m SUBSOIL LINE ALLING TO PITS TO MATCH PIT INVERTS.
- 16. ALL COURTYARD & LANDSCAPED PITS TO BE 450 SQUARE UNLESS NOTED OTHERWISE.
- 17. ALL DRIVEWAY & OSD PITS TO BE 600 SQUARE UNLESS NOTED OTHERWISE.
- 18. ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- 19. ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS, WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- 20. GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- 21. ALL BASES OF PITS TO BE BENCHD (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANIZED ANGLE SURROUNDINGS TO GRATE.
- 22. ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- 23. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- 24. ALL GRATES TO HAVE CHILDPROOF LOCKS.
- 25. ALL DOWNPIPES TO HAVE LEAF GUARDS.
- 26. ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- 27. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- 28. WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS.
- 29. ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- 30. ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF 665mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- 31. SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYES AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- 32. GRATES TO BE IN ACCORDANCE WITH TABLE BELOW.

PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	WALKS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3599 - 2008. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

33. COVER TO PIPE TO BE AS PER TABLE BELOW.

COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDER SIDE OF PAVEMENT
CONCRETE	STEEL	N/A BELOW UNDER SIDE OF PAVEMENT
ROADS	RCP	100 BELOW UNDER SIDE OF PAVEMENT

RECOMMENDED SAFETY SIGNS



BASEMENT PUMP OUT FAILURE WARNING SIGN

- 1. SIGN SHALL BE PLACED IN A CLEAR AND VISABLE LOCATION WHERE VEHICLES ENTER THE BASEMENT



CONFINED SPACE DANGER SIGN

- 1. A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS CONFINED SPACE.
- 2. THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE.
- 3. SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

EXISTING SERVICES

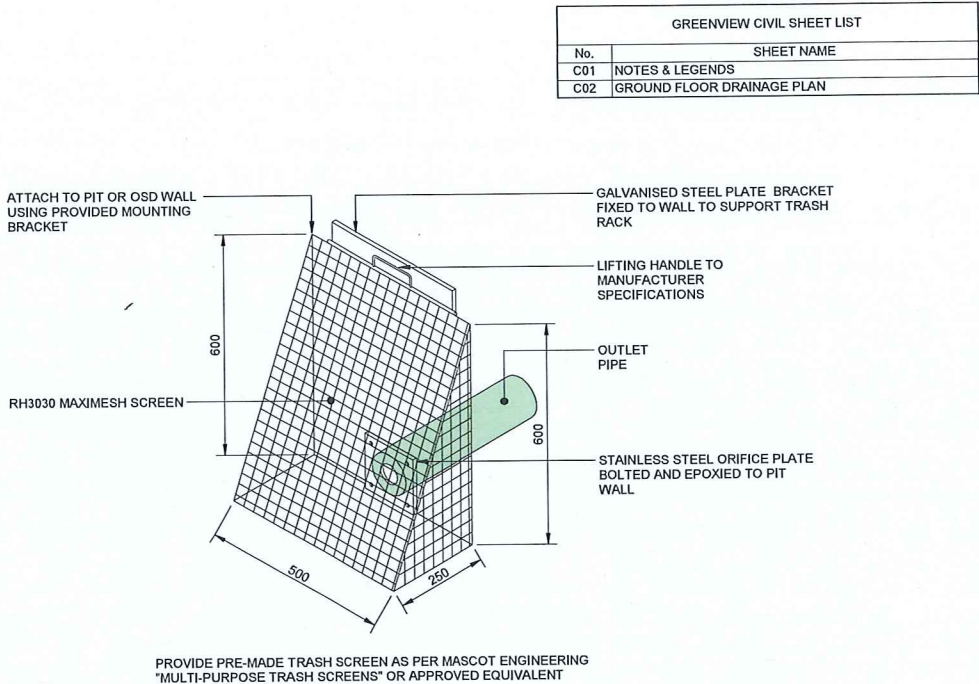


ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IL	PROPOSED PIT INVERT LEVEL
ID	INSPECTION OPENING
K&G	KERB & GUTTER
P	FINISHED PAVEMENT LEVEL
RCP	REINFORCED CONCRETE PIPE
RKG	ROLL KERB & GUTTER
RL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

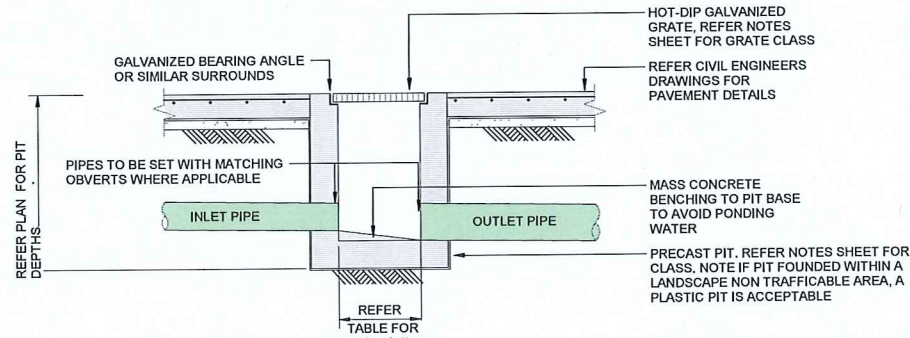
COLOUR LEGEND

- NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
- EXISTING
- REMOVED OR RELOCATED



TYPICAL TRASH SCREEN DETAIL

Scale: 1:10



- 1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
- 2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 900dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE

Scale: 1:20

REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION
4	13.09.18	MJE	OSD CALCS				
3	31.07.18	MJE	COUNCIL CHANGES				
2	19.03.18	MJE	ISSUED FOR APPROVAL				
1	15.03.18	MJE	ISSUED FOR APPROVAL				

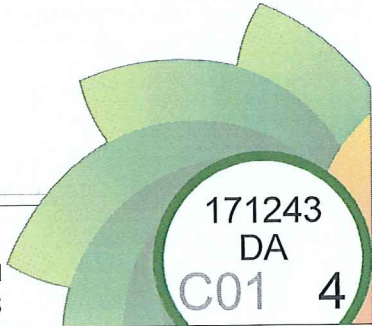
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DRAWN: MJE
SCALE: As indicated
SIZE: A1

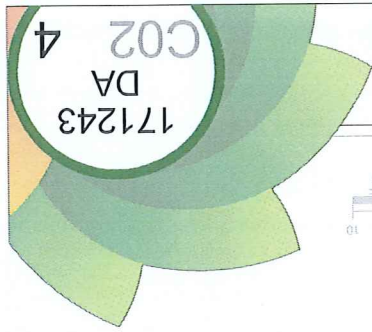


PROPOSED DEVELOPMENT

30 Frank St, Mount Druitt NSW
Stanton Dahl

CIVIL DESIGN
NOTES & LEGENDS





PROPOSED DEVELOPMENT
CIVIL DESIGN
GROUND FLOOR DRAINAGE PLAN
Stanton Dahl
30 Frank St, Mount Druitt NSW

greenview
CONSULTING

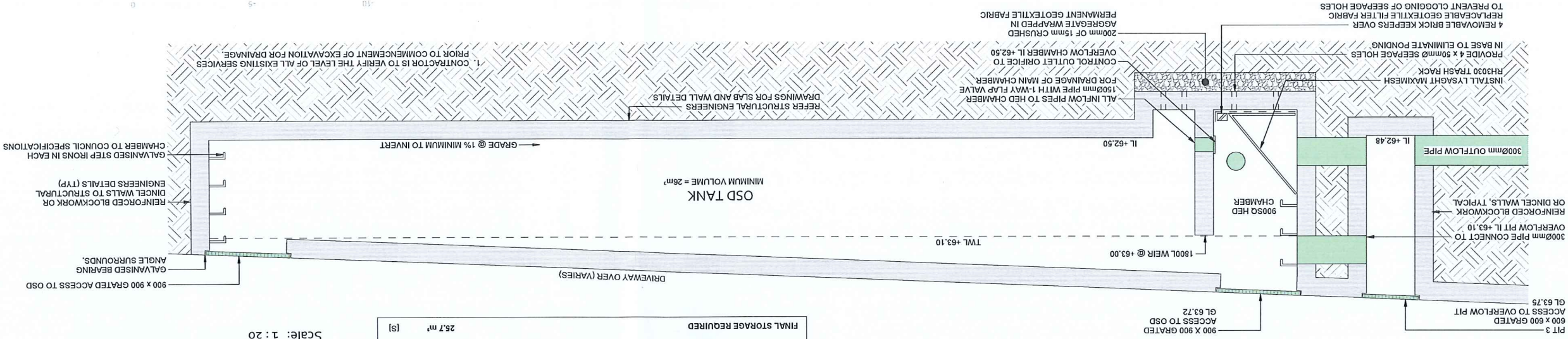


DESIGN: AMK
DRAWN: MLE
SCALE: As indicated
SIZE: A1

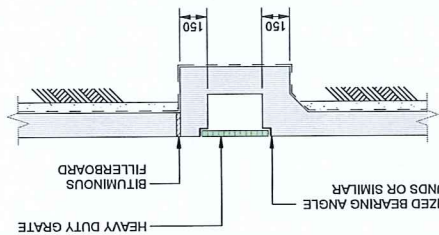
REV.	DATE	BY	DESCRIPTION
4	13.09.18	MJE	OSD CALCS
3	31.07.18	MJE	COUNCIL CHANGES
2	19.03.18	MJE	ISSUED FOR APPROVAL
1	15.03.18	MJE	ISSUED FOR APPROVAL

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SECTION
Scale: 1 : 25

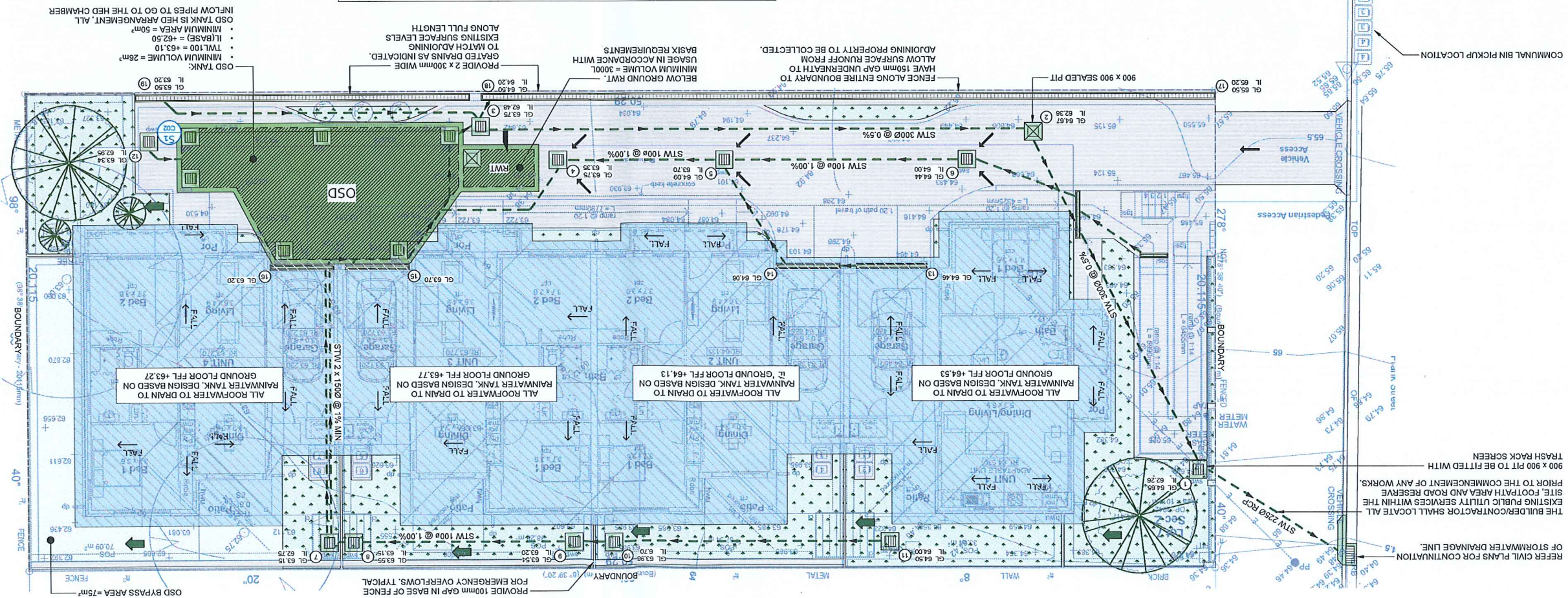


TYPICAL GRATED DRAIN DETAIL
Scale: 1 : 20



OSD CALCULATIONS	
AREA 43 ROPES CREEK	0.1011 ha
SSR	232 m³/ha
PSD	181 l/s/ha
BASIC STORAGE VOLUME	23.455 m³
BASIC DISCHARGE	0.0183 m³/s
AREA OF SITE DRAINED	0.0936 ha
STORAGE PER HA OF CONTRIBUTING AREA ADJUSTED	92.6%
(DRA) (MINIMUM 80%)	148.36 l/s/ha
DETERMINE PSD	13.89 l/s
MAXIMUM HEAD TO ORIFICE	0.60 m
(TWL - CENTRE ORIFICE RL) 63.10 - 62.50	91.20 mm
SELECTED ORIFICE DIMETER	13.89 l/s
HEAD FOR HIGH EARLY DISCHARGE (WEIR RL - CENTRE ORIFICE RL) 63.00 - 62.50	0.50 m
HIGH EARLY DISCHARGE	12.68 l/s
APPROXIMATE MEAN DISCHARGE	14.12 l/s
AVERAGE DISCHARGE/HA	274.2 m³/ha
VOLUME/PSD ADJUSTMENT	26.7 m³
FINAL STORAGE REQUIRED	

GROUND FLOOR DRAINAGE PLAN
Scale: 1 : 100



CIV - STANDARD SYMBOLS	DESCRIPTION	OVERLAND FLOW PATH	ROOF FALL ARROW
	STW	STW	STW
	STW	STW	STW

CIV - FIXTURES SCHEDULE	TYPE	DESCRIPTION
	300W	GRADED STRIP DRAIN
	SEALED	STORMWATER PIT
	PERIMETER	STRIP DRAIN
	GRATING	STORMWATER PIT

GENERAL LEGEND	PROPOSED TREES	EXISTING TREES
	OSD	OSD
	ROOF AREA TO DRAIN	ROOF AREA TO DRAIN
	LANDSCAPE	LANDSCAPE
	HARDSTAND	HARDSTAND